



OPEN SESSION

REGULAR OPEN MEETING OF THIRD LAGUNA WOODS MUTUAL ARCHITECTURAL AND CONTROL STANDARDS COMMITTEE

**Monday, April 25, 2022: 9:30AM - 11:30AM
HYBRID VIRTUAL/IN-PERSON MEETING**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions regarding virtual meetings using one of three options:

1. Via Zoom : <https://us06web.zoom.us/j/93156707417>
2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Name and unit number must be included.
3. Attend the meeting in person and participate during discussions.

NOTICE and AGENDA

This Meeting May Be Recorded

1. Call to Order
2. Acknowledgement of Media
3. Approval of Agenda
4. Approval of Meeting Report – March 28, 2022
5. Chair's Remarks
6. Member Comments - (Items Not on the Agenda)
7. Division Manager Update

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

8. Monthly Mutual Consent Report (Attachment 1, PDF Page 7)

Variance Requests:

- A. 5191 Duenas (Villa Serena, Plan C12RB_1) Room Addition in Exclusive Use Common Area and Laundry Room in the Garage (PDF Page 11)
- B. 5379-C Avenida Sosiega (Cabrillo, Plan RP203A) Cathedral Ceiling (PDF Page 35)

Items for Discussion:

9. Update on Technology
 - A. Automated Reminders
 - B. Live Permit Status Links
 - C. Analytics Improvements



Items for Future Discussion & Agendas:

- Variance Request Report
- Contractor Violation Policy: Revisions Post-Board Meeting
- Handrail Policy: Evolution into Ambulatory Aide Policy
- Alteration Fee Schedule

Concluding Business:

10. Committee Member Comments
11. Date of Next Meeting – May 23, 2022
12. Adjournment



OPEN MEETING

**REGULAR OPEN MEETING OF THE THIRD LAGUNA WOODS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

Monday, March 28 2022: 9:30AM-11:30AM
Laguna Woods Village Community Center (Zoom)
24351 El Toro Road, Laguna Woods, CA 92637

REPORT

COMMITTEE MEMBERS PRESENT: Robert Mutchnick, John Frankel, Ralph Engdahl, James Cook, Craig Wayne

DIRECTORS PRESENT:

COMMITTEE MEMBERS ABSENT:

ADVISORS PRESENT: Michael Plean, Michael Butler

STAFF PRESENT: Robbi Doncost, Lauryn Fox, Gavin Fogg, Bart Mejia, Manuel Gomez, Richard DeLaFuentes

1. Call to Order

Chair Mutchnick called the meeting to order at 9:31 AM.

2. Acknowledgement of Media

Zoom recording.

3. Approval of Agenda

Agenda was approved by consensus.

4. Approval of Meeting Report for January 24, 2021

Chair Mutchnick highlighted a verbiage change on the Meeting Report (page 3 of 3) "Set" a Special Meeting.

5. Chair's Remarks

Chair Mutchnick stated his gratitude for the entire committee being present and focused on moving through the agenda.

6. Member Comments - (Items Not on the Agenda)

None.

7. Manor Alterations Division Update

Staff Officer Bart Mejia confirmed that staff was fully trained, and cross-training was being successfully implemented in order to alleviate any gaps in staffing. Inquiries were being answered in a reasonable time, and Mr. Mejia expressed satisfaction as to the current state of the department.



Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

8. Monthly Mutual Consent Report

Director Laws posed questions about the report, namely the time for inquiries to be addressed, reminders for members who should be providing documents, how the information was calculated, and what the follow up process was like. Mr. Mejia confirmed that all inquiries were responded to within 48 hours, and the team was working towards follow ups for delayed projects.

Director Laws inquired as to what the typical delay was, Staff Officer Fox confirmed that when residents download a Mutual Consent packet they also receive completed samples and a checklist of what to include, and still items are regularly missing from packets. Manor Alterations is hopeful that a fully digital platform will alleviate this. Director Lewis inquired as to the seeming inconsistencies between Manor Alterations and the City's permit requirements, which Director Cook reinforced. Mr. Mejia confirmed there is a new building inspector, but at the next internal meeting this topic would be addressed.

Variance Requests:

A. 3456-A Bahia Blanca West (Navarro, Plan P302RC) Patio Enclosure in "Grandfathered" Common Area

Mr. Mejia introduced the Variance, but clarified that the floorplans are slightly different from what was originally proposed, therefore the current drawings no longer encroach upon common area. Staff Officer Richard DeLaFuente discussed the differences between the recently edited version provided at the meeting versus the version provided to Manor Alterations to qualify for a Variance. Discussion ensued regarding the exit points and the similarities between the existing installation and the proposed installation. Director Plean made a motion to approve, Director Cook seconded, the motion carried to approve the Variance based upon the plan provided to the committee.

B. 2173-A Via Mariposa East (Monterey, Plan PQ12) Bathroom Addition in the Storage Closet

Director Cook recused himself to abstain from voting. Mr. DeLaFuente explained the details of the Variance, but clarified that staff supported the approval. Discussion ensued regarding details of the Variance, including the window installation, exhaust fans, plumbing details, and more. Director Plean made a motion to approve, Director Engdahl seconded, and the motion carried to approve the Variance with Director Cook abstaining.

Items for Discussion:

None.

Items for Future Agendas:

- Variance Request Reports

Chair Mutchnick inquired if there were more Variances in upcoming meeting. Mr. Mejia confirmed that the backlog had been addressed and Variances would return to being discussed during regular ACSC meetings.



Concluding Business:

9. Committee Member Comments

None.

10. Date of Next Meeting – April 25, 2022

11. Adjournment at 10:14 AM

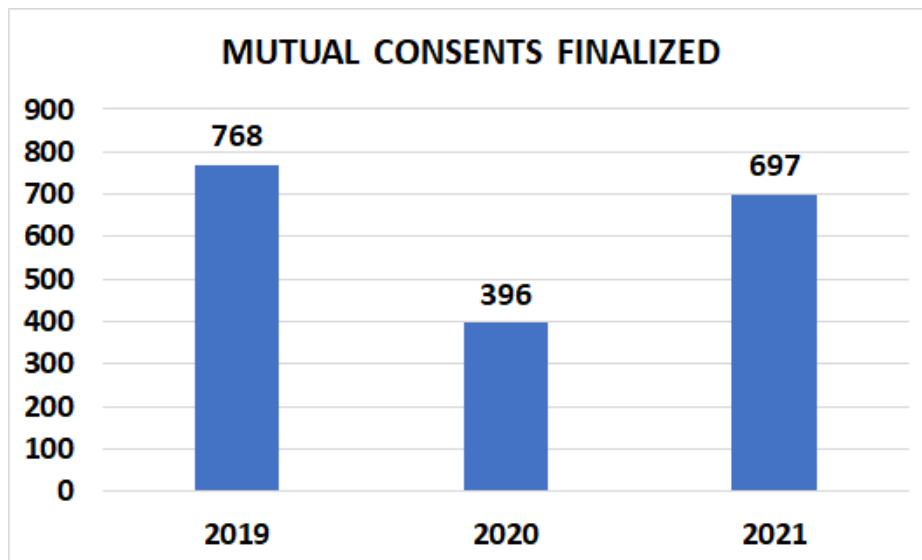
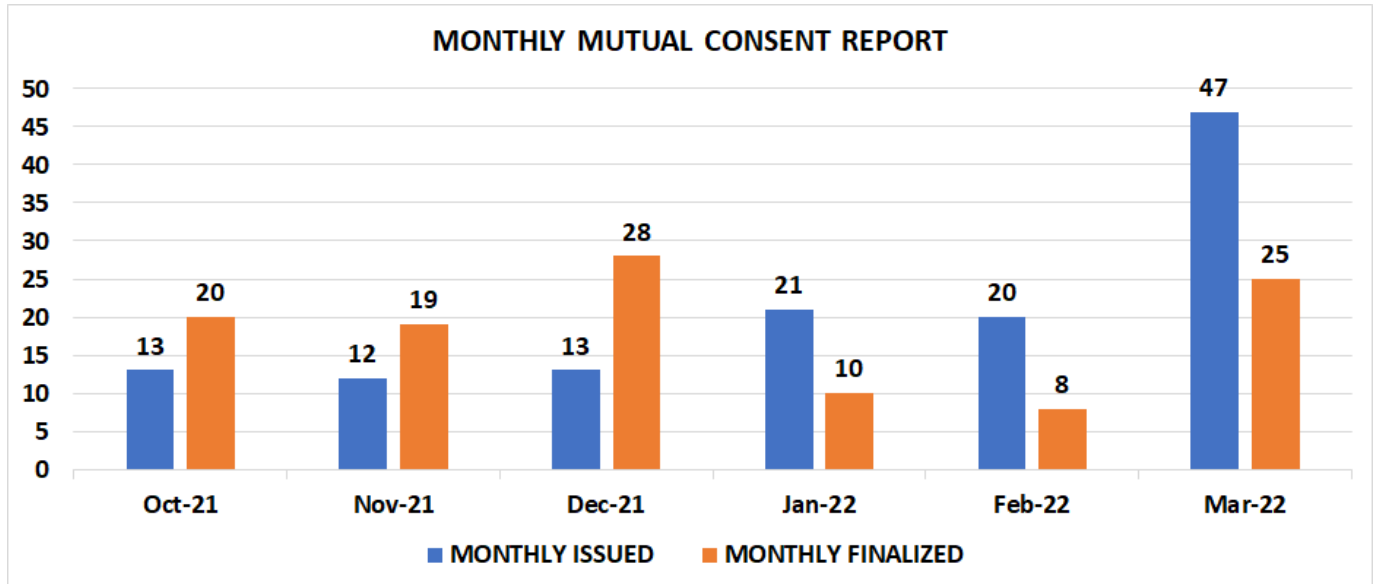
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Robert Mutchnick, Chair

Robbi Doncost, Staff Officer

Telephone: (949) 268-2281

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Permit Release Timeline:
Class I Permits = 5 - 10 Business Days
Class II Permits = 5 - 12 Business Days
Class III Permits = 45 - 70 Business Days



Intake staff creates PA01/PA02 ticket in Stellar for the related manor.

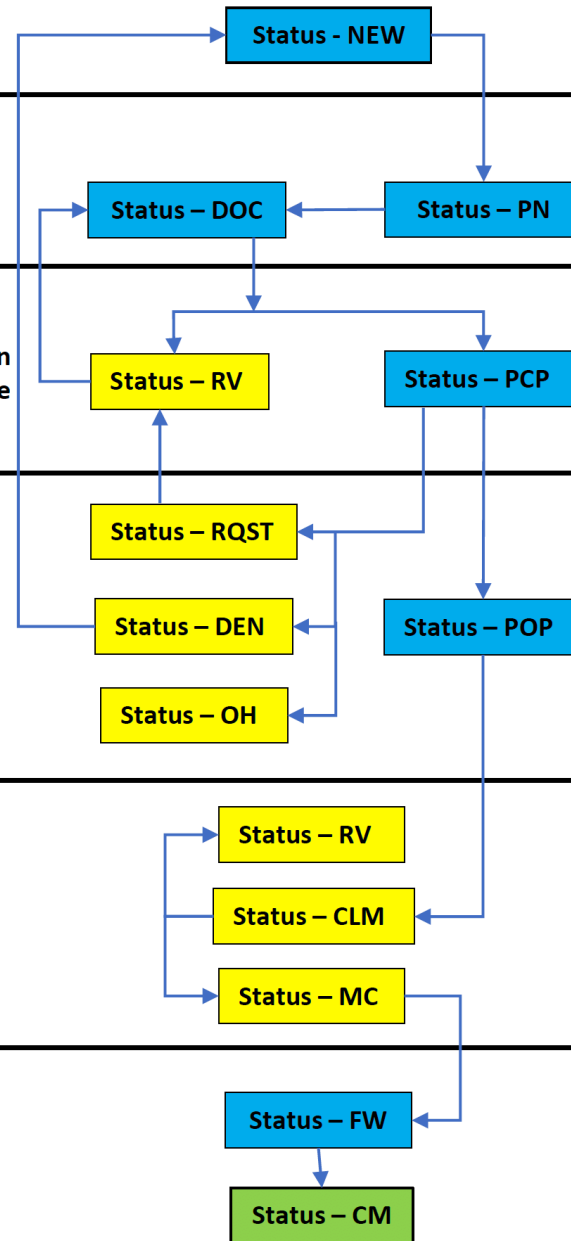
Intake staff reviews application for completeness.

Following intake staff review – Staff will respond to email application with appropriate response to obtain more information or acknowledge receipt of completed application.

Inspector plan check – Inspector determines if the application can be approved at a technical level. Determines if any supplemental documents are needed and generates supplemental documents as needed.

Intake staff COLI request/Payment/Release – Intake staff review application from inspector "Approved folder." Take appropriate action dependent on if final documents are complete.

City permits/Request for final inspection received – Intake staff receive final city permit or receives request for final inspection for non-city permit alterations.

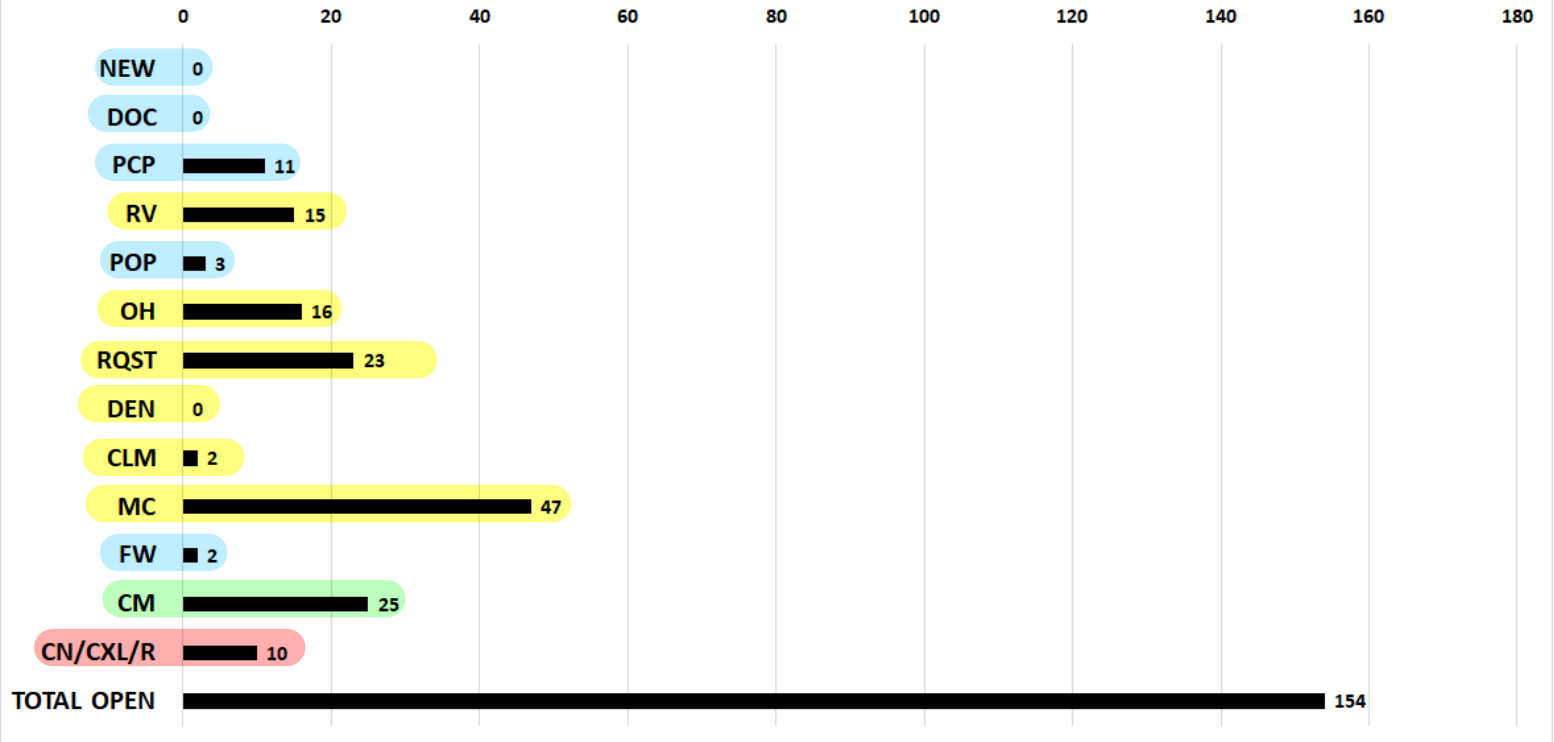


PROCESSING NOTES

Request both demolition and construction applications be submitted together to allow tandem plan application checks. Once both have been approved at the plan-check stage, staff will take payment for both applications and release the demolition application to the applicant (changing the ticket status to MC), while changing the construction ticket to OH status, noting the ticket is on hold until final demolition documents are provided (city demo permit and air clearances). Once the demolition documents are submitted and demo paperwork is completed, the construction application can be released the same day, and ticket status is changed to MC.



**MUTUAL CONSENTS BY STATUS:
MARCH 2022**



STATUS	STATUS DEFINITION	RESPONSIBILITY
NEW	NEW APPLICATION SUBMITTED	MANOR ALTERATIONS
DOC	FRONT DESK REVIEWING APPLICATION	MANOR ALTERATIONS
PCP	PLAN CHECK IN PROGRESS	MANOR ALTERATIONS
RV	REVISION REQUIRED	RESIDENT
POP	PENDING OBTAINING PAYMENT	MANOR ALTERATIONS
OH	ON HOLD	RESIDENT
RQST	REQUESTED INFORMATION FROM MEMBER	RESIDENT
DEN	DENIED APPLICATION	RESIDENT
CLM	CONTACTED MEMBER/LEFT MESSAGE	RESIDENT
MC	MEMBER CONTACTED/WORK PENDING	RESIDENT
FW	FINAL WALK REQUESTED	MANOR ALTERATIONS
CM	COMPLETED	N/A
CN/CXL/R	CANCELLED	N/A

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STAFF REPORT

DATE: April 25, 2022
FOR: Third Architectural Control and Standards Committee
SUBJECT: Variance Request: Mr. Vetit Piyas of 5191 Duenas (Villa Serena, Plan C12RB_1) Room Addition in Exclusive Use Common Area and Laundry Room in the Garage

RECOMMENDATION

Staff recommends approval from the Architectural Control and Standards Committee for a variance for a room addition into exclusive use common area and a laundry room in the garage with conditions stated in Appendix A.

BACKGROUND

Mr. Vetit Piyas of 5191 Duenas, a Villa Serena style manor, requests Architectural Control and Standards Committee approval of a variance for a room addition into exclusive use common area and a laundry room in the garage.

Due to there being no existing Standard plan for the proposed alterations, Staff seeks Board approval prior to issuing a Mutual Consent for the alterations.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

Mr. Vetit Piyas is proposing a room addition into exclusive use common area and a laundry room in the garage, as part of a large remodel.

The addition of the laundry room, including access doors to both the adjacent bedroom and the garage, is an encroachment into the exclusive use common area garage. The existing water heater will need to be relocated within the garage. The laundry room and the water heater relocation will need to be adjusted to accommodate the required two 10'x20' clear parking spaces within the 2-car garage. This will require the laundry room interior space be approximately 5'-6"x12' with the water heater relocated adjacent to it. This will be enforced through Building Department plan check and inspection.

The existing exclusive use common area patio at the rear of the of the manor was permitted to be expanded into common area in 1976. Per current common area policy, no new construction shall be permitted in common area. The extent of the addition is limited to the original limits of the exclusive use common area, 6' x 40' as shown on the drawings in Appendix B. The additional floor space will be added to the master bedroom and living room, 34'x6' or 204 square feet. The roof line and a soffit will be continued the

full width of the manor to create a continuous façade. A portion of the grandfathered patio extension is to remain outside the dining room, so the portion of the roof and soffit above the patio will be supported by a post at the corner of the allowed limits.

By the removal of a portion of the existing grandfathered patio, the grandfathering of that portion of common area is now void. The portion of the grandfathered patio to remain is defined by the planter walls that are to remain, which results in the revised patio measuring approximately 9'x9'.

Structural drawings and calculations will be required for the overall manor remodel due to bearing walls being removed and the new construction. Refer to documents in Appendix B.

Currently, there are no Mutual Consents open for the manor, other than those that relate to this variance application.

Staff recommends approval from the Architectural Controls and Standards Committee regarding the variance request for the following reasons. Mr. Vetit Piyas has submitted architectural drawings for the proposed alteration for review. As indicated on the plans, additions are contained by the original construction volume limits as shown in Appendix B. The remodel should not cause changes to existing drainage, landscaping, or similar issues related to common area maintenance.

Structural drawings will be submitted for review prior to issuance of the Mutual Consents for Demolition and Alteration. The structural tie-in of the new framing shall be addressed on the structural drawings.

A City of Laguna Woods building permit final inspection would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to manors 5190, 5192, 5193, 5194, 5195, 5210, 5211, 5212, and 5213 on April 15, 2022 due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 5191.

Prepared By: Richard de la Fuente, Alterations Inspector II

Reviewed By: Gavin Fogg, Inspections Supervisor

Robbi Doncost, Manor Alterations Manager

Baltazar Mejia, P.E., Maintenance & Construction Assistant

Director

ATTACHMENT(S)

Appendix A:	Conditions of Approval
Appendix B:	Record Documents
Attachment 1:	Scope of Work
Attachment 2:	Variance Application
Attachment 3:	Photos
Attachment 4:	Aerials
Attachment 5:	Resolution 03-22-XX

<p style="text-align: center;">APPENDIX A CONDITIONS OF APPROVAL</p>
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CONDITIONS OF APPROVAL

Manor: 5191 Duenas, Laguna Woods, CA

Variance Description: Room Addition into Exclusive Use Common Area and a Laundry Room in the Garage

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The member shall provide a copy of the Grant Deed and the Legal Description for the unit to Manor Alterations, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of a recordable "Exclusive Use Common Area Agreement" as mentioned in Section G General Conditions.
- A.2. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.3. The Member shall provide plans, specifications, and calculations (from a duly licensed structural engineer) to conform to the Building Code for all foundation, framing, and beam additions for the work of this variance.
- A.4. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.
- A.5. The Member shall paint the entire new building expansion and sides of the Manor for a complete blend of the new exterior surfaces. All veneer textures, materials, trim, and colors shall match and conform to the existing conditions.

B. Materials and Methods:

- B.1. All new materials, colors, and finishes shall match existing.
- B.2. Entire elevation with continuity of room addition walls shall be painted to match existing and maintain a single congruous color and finish.

- B.3. The new room in the garage shall not encroach into the required 20' x 20' clear parking area as required by code.
- B.4. Water heater and water filter system relocation shall not encroach into the required 20' x 20' clear parking area as required by code.
- B.5. The existing vehicular garage door shall remain and shall not be relocated.
- B.6. New construction shall not extend beyond 6' x 40' Exclusive Use Common Area rear patio limits as defined by original tract map and Grandfathered herein.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- C.2. Prior to the Issuance of a Mutual Consent for Alterations, the Member must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed. The inspection will be a chargeable service to the Member. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Alterations staff to review.
- C.3. Prior to the Issuance of a Mutual Consent for Alterations, if required, the Member shall verify with Plumbing if the manor plumbing has been treated with an ePIPE Epoxy Barrier, to assure that Mutual property is appropriately addressed during construction. Any repair or connection to the epoxy coated pipe should be performed in such a manner that the repair or the remodel of the existing system does not damage the epoxy barrier. Before repairing or remodeling any ACE Duraflo epoxy barrier, call 800-359-6369 to ensure the proper technique is used for the specific repair or remodel.
- C.4. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs.

For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.

- C.5. Prior to the Issuance of a Mutual Consent for Alterations, the Member shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
- C.6. Prior to the Issuance of a Mutual Consent for Alterations, the Member shall request a Maintenance and Construction Department inspection to assure that Mutual property is appropriately addressed during construction.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan check drawing set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are identified as "Third Laguna Hills Mutual Color Selections" at Resident Services, located at the Community Center first floor.

See next page for General Conditions.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 5191, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Department , and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5191 and all future Mutual Members at 5191.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents

by any invitee, including any fine, assessment or other charge levied in connection therewith.

- G.6. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. The Member is responsible for the submission of a valid mutual consent no later than 2 weeks from the date of the Variance approval. The expiration date of the Variance will then match the expiration date of the issuance of the Manor Alterations Mutual Consent for the improvements. If a valid Mutual Consent application is not submitted within said 2 weeks, then this Variance shall expire 180 days following the date of the Board approval of the Variance.
- G.10. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
- G.11. All construction must be completed within 180 days or 6 months from the later date of Board approval of the Variance and issuance of the Mutual Consent for start of demolition or construction work.
- G.12. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a

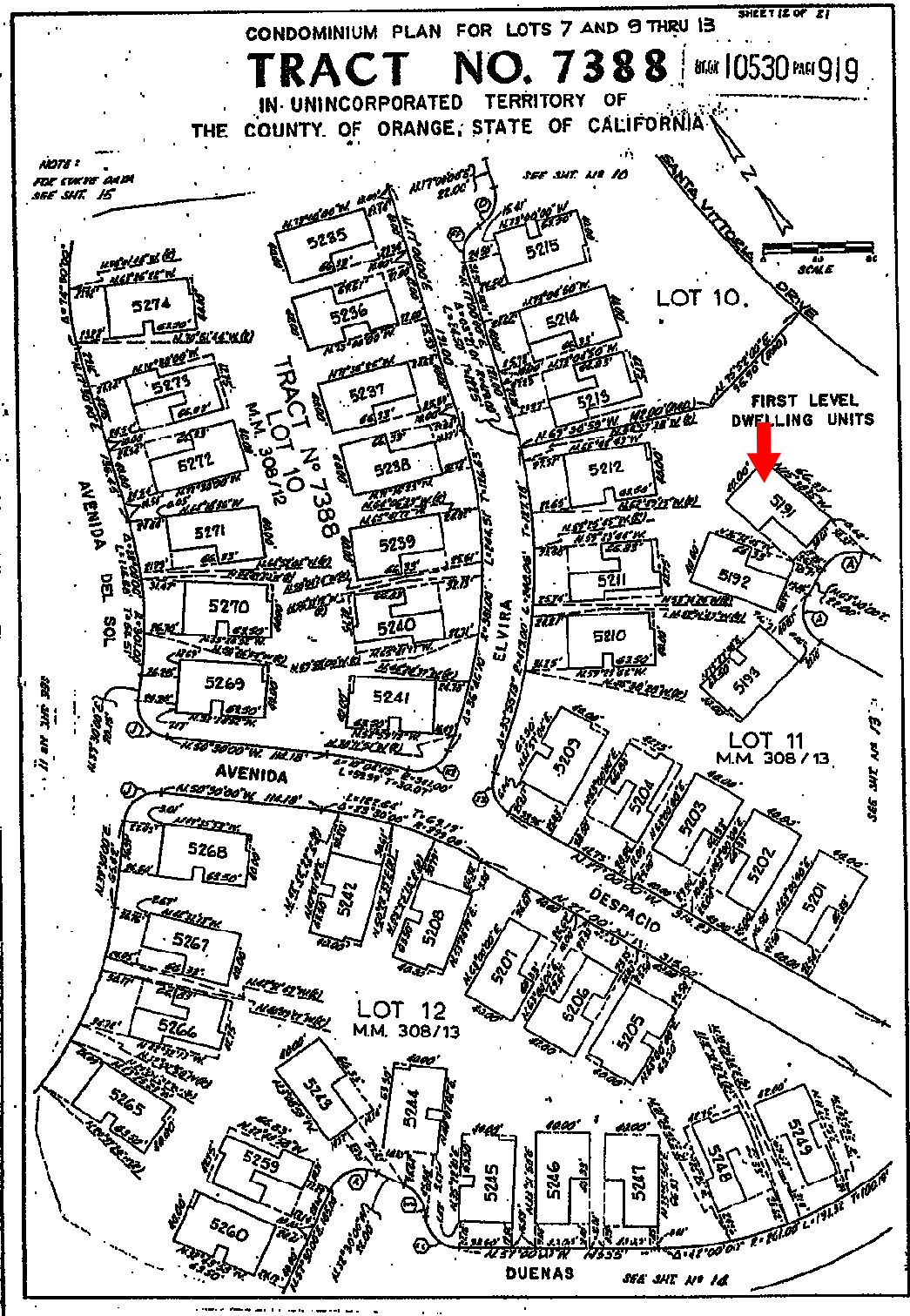
Mutual Consent for Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

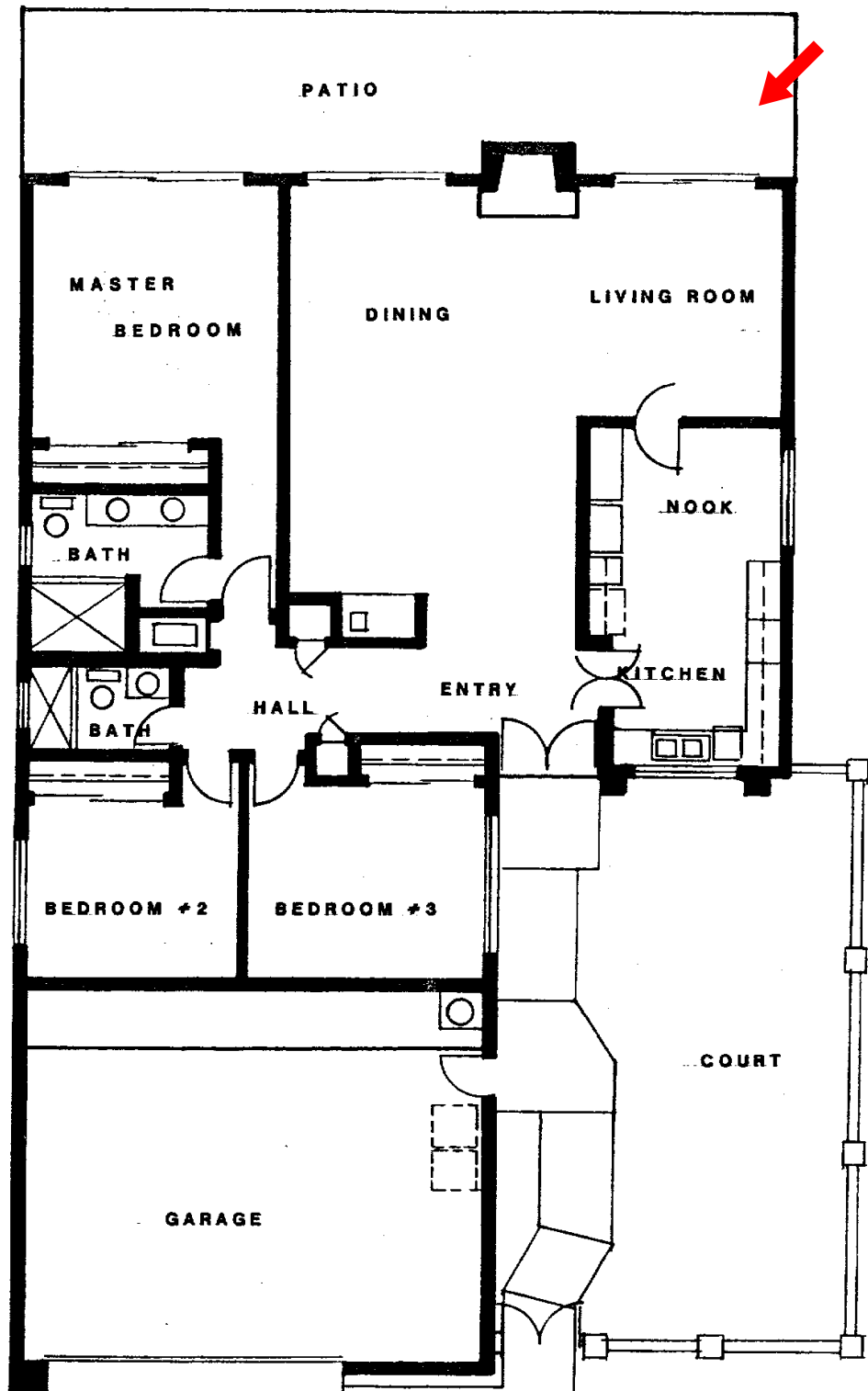
- G.13. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.14. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.15. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.16. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.17. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.18. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.20. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.21. The Mutual Consent for Alterations expires six months after the date of

approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

- G.22. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.23. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

APPENDIX B RECORD DOCUMENTS

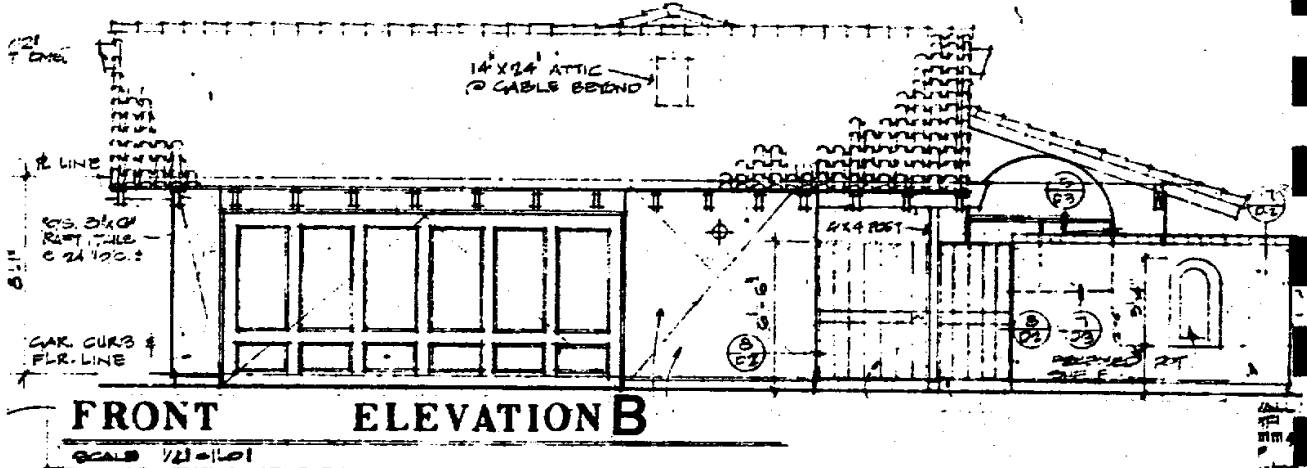
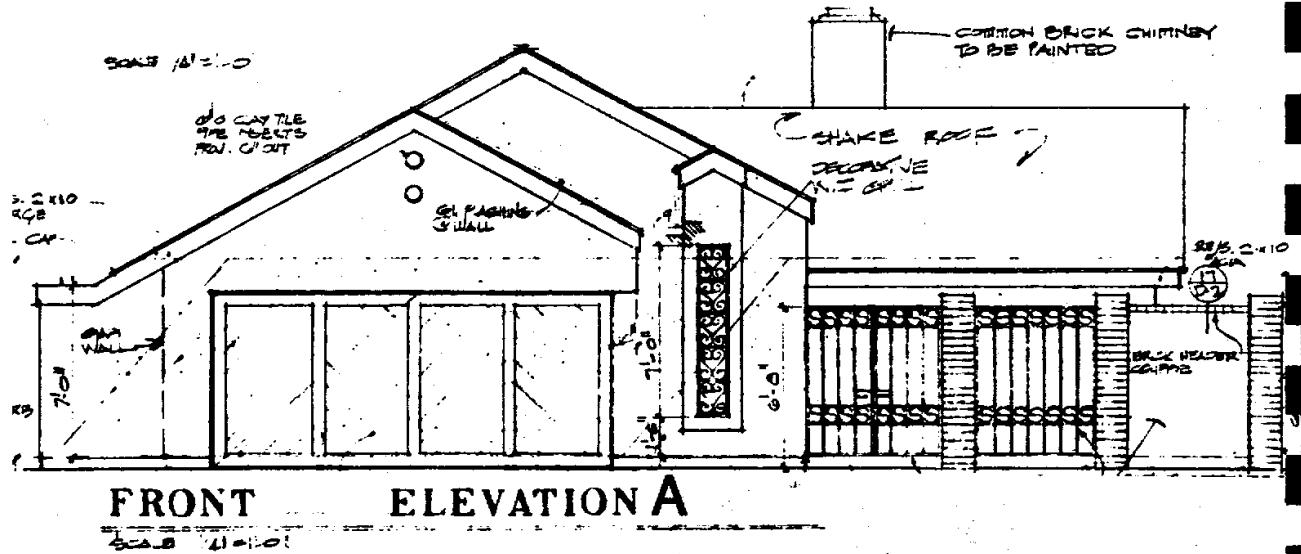




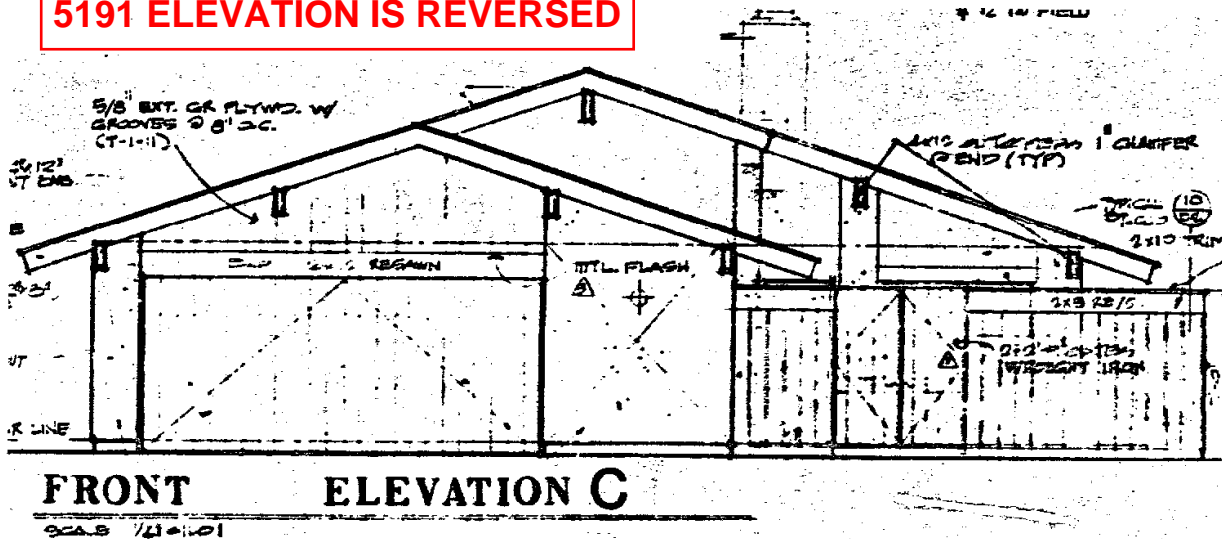
VILLA SERENA(C12 villa's)

5191 PLAN IS REVERSED

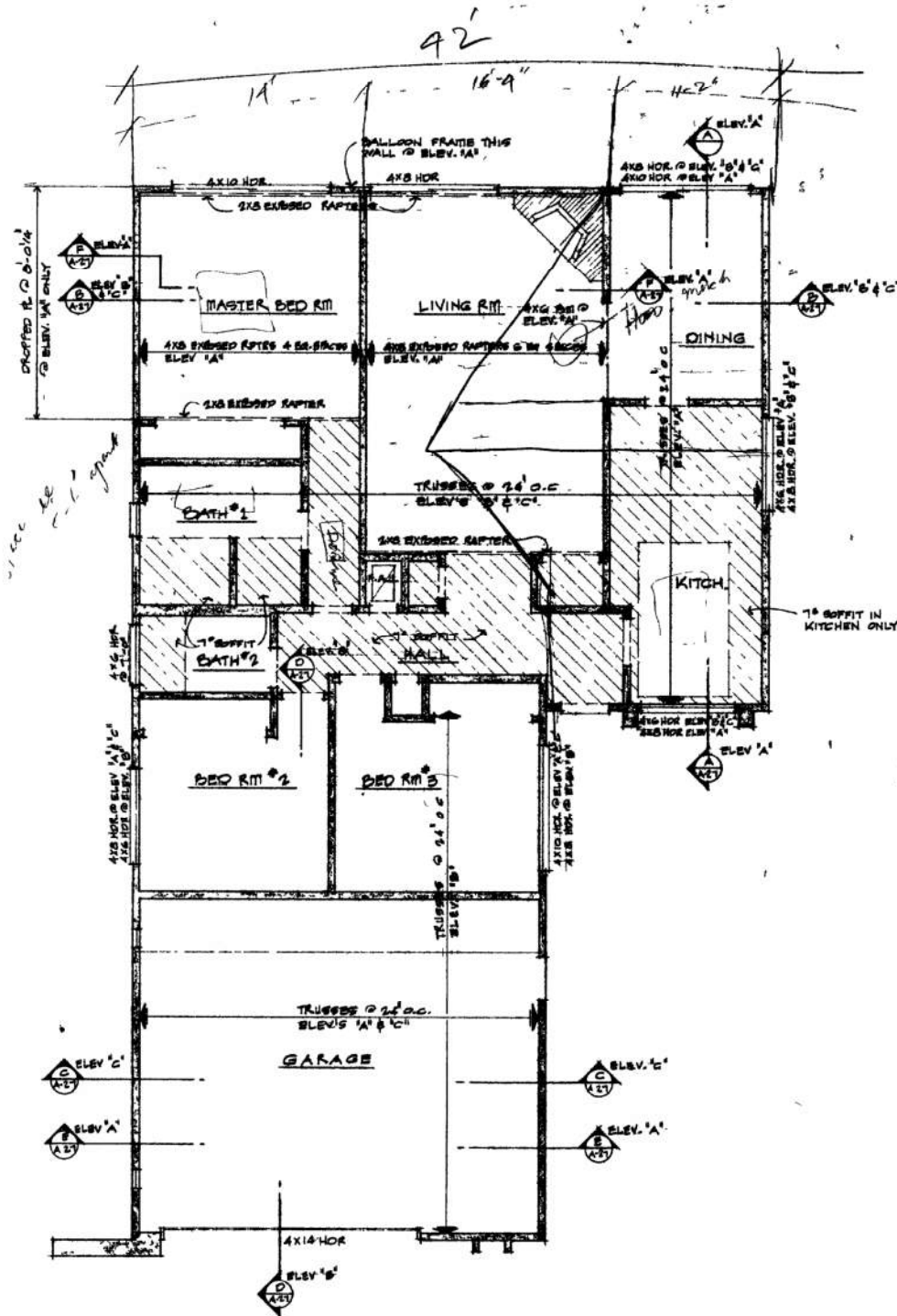
81-



5191 ELEVATION IS REVERSED

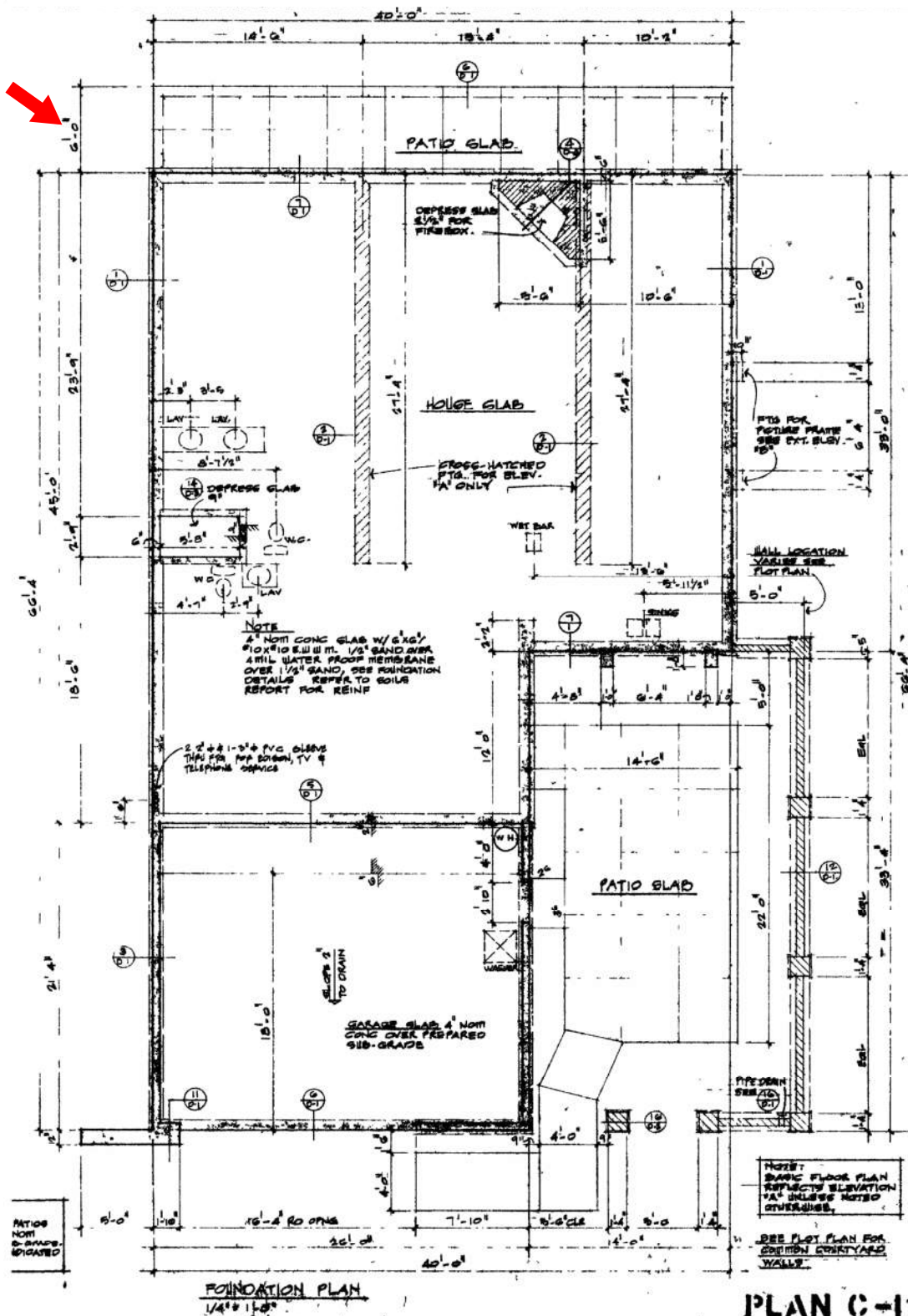


San Marco/Villa Serena(C12)



FRAMING PLAN
SCALE: 1/4" = 1'-0"

5191 PLAN IS REVERSED
PLAN C-12



5191 PLAN IS REVERSED

SIGNATURE

A1





[illegible][illegible]

1	1. NAME OF THE PARTY OR PERSON	1. NAME OF THE PARTY OR PERSON
2	2. ADDRESS	2. ADDRESS
3	3. CITY AND STATE	3. CITY AND STATE
4	4. ZIP CODE	4. ZIP CODE
5	5. PHONE NUMBER	5. PHONE NUMBER
6	6. FAX NUMBER	6. FAX NUMBER
7	7. E-MAIL ADDRESS	7. E-MAIL ADDRESS
8	8. WEBSITE	8. WEBSITE
9	9. OTHER INFORMATION	9. OTHER INFORMATION
10	10. SIGNATURE OF THE PARTY OR PERSON	10. SIGNATURE OF THE PARTY OR PERSON
11	11. DATE	11. DATE
12	12. SIGNATURE OF THE PARTY OR PERSON	12. SIGNATURE OF THE PARTY OR PERSON
13	13. DATE	13. DATE
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17	17. DATE	17. DATE
18	18. SIGNATURE OF THE PARTY OR PERSON	18. SIGNATURE OF THE PARTY OR PERSON
19	19. DATE	19. DATE
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21	21. DATE	21. DATE
22	22. SIGNATURE OF THE PARTY OR PERSON	22. SIGNATURE OF THE PARTY OR PERSON
23	23. DATE	23. DATE
24	24. SIGNATURE OF THE PARTY OR PERSON	24. SIGNATURE OF THE PARTY OR PERSON
25	25. DATE	25. DATE
26	26. SIGNATURE OF THE PARTY OR PERSON	26. SIGNATURE OF THE PARTY OR PERSON
27	27. DATE	27. DATE
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29	29. DATE	29. DATE
30	30. SIGNATURE OF THE PARTY OR PERSON	30. SIGNATURE OF THE PARTY OR PERSON
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NOTE:
HABITABLE ROOMS SHALL NOT BE LESS THAN
7'-0" IN ANY HORIZONTAL DIMENSION (SEE REQ.4.2)

SHOWER WALLS AND BATHWALL SHALL BE FINISHED
WITH A NON-ABSORBENT SURFACE FOR A MINIMUM OF
6'-0" ABOVE THE FLOOR

CEMENT FLOOR SYSTEM FLOOR MAT REINFORCED
CONCRETE SLABS MAY SUBMIT OF FIBER REINFORCED
SPERMAL BACKERS SHALL BE USED AS A BASE
FOR WALL TIE IN TUB AND SHOWER AREAS AND WALL
AND CEILING PANELS IN SHOWERS AREAS
(SEE 2504 (R) R202.4.2)

FLOOR PLAN KEY	 DROP CEILING	 NOT PART OF SCOPE OF WORK	 DROP CEILING	DEMO HALL EXISTING HALL TO REMAIN	 NEW HALL
----------------	---	---	---	---	---

SQUARE FOOTAGE	1612 sq ft
(E) BASE FLOOR	202 sq ft
(N) PROPOSED ADDITION	1814 sq ft
TOTAL	508 sq ft
(E) GARAGE	

FOR AMENDMENTS SEE ONLY - AMENDMENTS TABS TO PAGE OF PERMITS.

AREA OF PATIO TO
RETAIN
(GRANDFATHERED)

**REQUIRED:
MAJOR WALL
REVISIONS
REQUIRE
STRUCTURAL
DRAWINGS AND
CALCULATIONS**

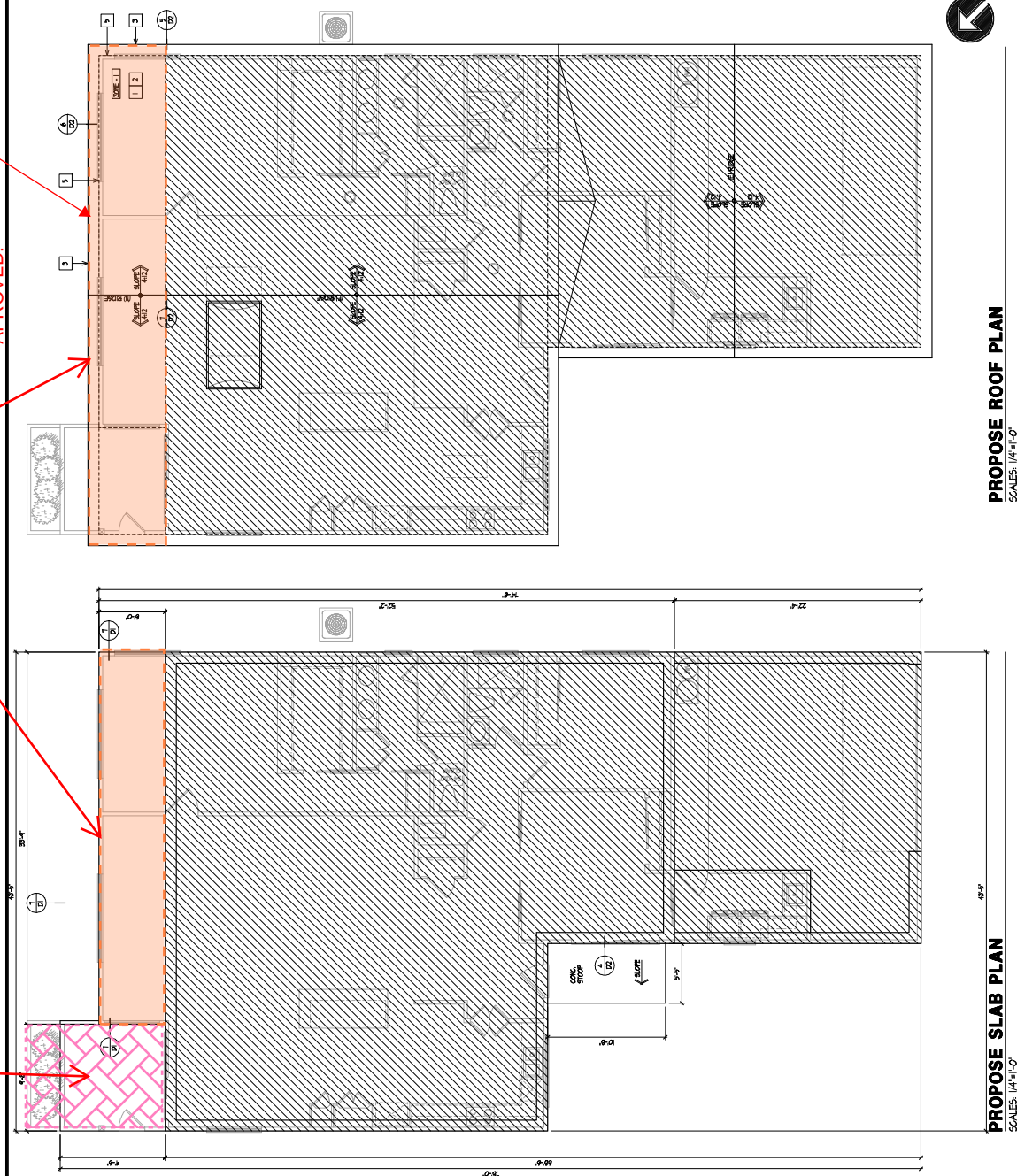
AREA OF
VARIANCE
SCOPE

AREA OF
ADDITION
& VARIANCE

PROPOSE FLOOR PLAN

AREA OF
BUILDING
ADDITION

NO FURTHER ENCROACHMENT
INTO COMMON AREA IS
APPROVED. _____



PROPOSE ROOF PLAN
SCALE: 1/4" = 1'-0"

PROPOSE SLAB PLAN
SCALE: 1/4" = 1'-0"


CONCRETE & REINFORCEMENT
THE POLYURETHANE ARE ANTI-CORROSIVE, MEET NEW STANDARDS FOR USE IN CONTACT WITH REINFORCING STEEL AND MECHANICAL PARTS. THEY DO NOT CORRODE STEEL OR BRASS AND DO NOT DISCOLOR IT. THEY DO NOT SHrink.

CONCRETE SLABS:
• CAN BE PLACED OVER A MINIMUM OF 1" CLEAN DRY SAND OR 4" IN. VIBRATED CONCRETE.

CONCRETE STUOPS:
• THE STUOP SHALL BE PROTECTED AT EACH EXTERIOR CORNER BY A 1/2" DRAINAGE.
• BE A MINIMUM OF 1" OF MORTAR THAN THE DOOR THRESHOLD.
• SHALL PROTECT A MINIMUM OF 30" IN FRONT OF THE DOOR.
• STUOP SHALL BE A MIN. OF 5-7" THICK.
• SHALL BE 1/2" MIN. TO 1" MAX. TO 1/2" REMAINS AT 2" ON EACH SIDE MINIMUM 2".

CONCRETE PORCHES:
• THE PORCH SHALL BE PROTECTED AT THE FRONT OR VALUENT CORNER.
• SHALL BE 1/2" MIN. TO 1" MAX. TO 1/2" REMAINS AT 2" ON EACH SIDE MINIMUM 2".

CONCRETE WALLS:
• SHALL BE ATTACHED TO ROOF MIN 4" REMAINS EXHAUSTION. WOOD PROTECTS SEE PLAN.

 INDICATES SHOP IN SLAB SEE DETAILS

ROOF NOTES

- | | | |
|---|--|---|
| 1 | ROOF SLOPES: | 4:12 TO MATCH EXISTING |
| 2 | ROOF MATERIAL: | CONC. 5" LITE TO MATCH EXISTING |
| 3 | ROOF COVERING: | MFR. MONIER "LITTLE" 1/2" 20/20 OR APPROVED |
| 4 | EQUAL ROOF MATERIAL: | SHALL BE GLASS W/ FIRE RETARDANT. |
| 5 | ALL EAVES AND RAKES: | SHALL BE 12" ON LIND. |
| 6 | PROVIDE 6" VALLEY FLASHING AT ALL ROOF VALLEYS | |
| 7 | LINE OF STRUCTURE | |

TIC VENT CALCULATIONS

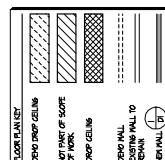
THE ATTIC VENTILATION CALCULATIONS PER C.B.C. SECTION 1209.2.2 AS FOLLOWS:

- ATTIC AREA (SQUARE FEET).
- DIVIDE (A) BY 150 (\$/SQ. FT) VAPOR RETARDER IS PROVIDED AT MANHOLE PER C.B.C. SEC. 1209.3.1 AND MULTIPLY BY 14 TO CALCULATE THE TOTAL REQUIRED NET FRIE VENTILATING AREA.
- TOTAL SQUARE INCHES OF NET FRIE VENTILATING AREA PER GENERAL NOTE DIVISION 6, SECTION A.
- TOTAL SQUARE INCHES OF NET FRIE VENTILATING AREA PROVIDED BY GABLE END VENTS.
- TOTAL SQUARE INCHES OF NET FRIE VENTILATING AREA PROVIDED BY ROOF VENTILATORS.
- TOTAL SQUARE INCHES OF NET FRIE VENTILATING AREA.

PLAN	A ATTIC AREA	B REQUIRED VENTING	C SABLE END VENTS	D ROOF VENTS	E EAVE VENTS
ZONE-1	202	144	336	0	0

ATTIC VENTS

- (1) P/DMA DORMER VENT PROVIDES 120 SQ. IN. OF FREE FLOW AIR MOVEMENT
 (2) L 1424 14" X 24" ATTC VENT PROVIDES 140 SQ. IN. OF FREE FLOW AIR MOVEMENT
 (3) OHMANN CLOAKED VENT TILE PROVIDES 45 SQ. IN. OF FREE FLOW AIR MOVEMENT
 (4) VENT BLOCK PROVIDES 18 SQ. IN.



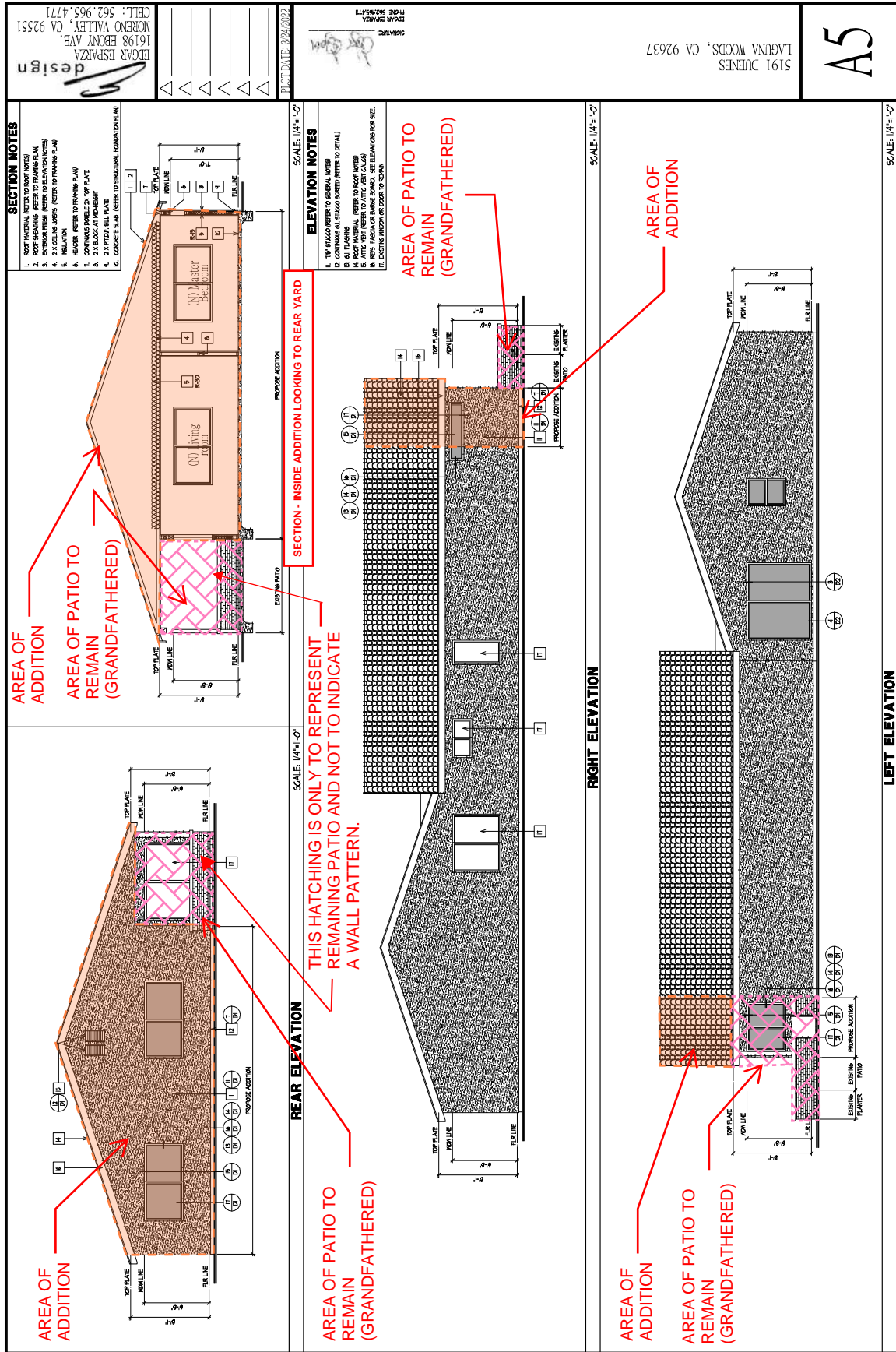
design
EDGAR ESPARZA
16198 EBONY AVE.
MORENO VALLEY, CA 92551
CELL: 562.965.4771

PLOT DATE: 3/24/2022

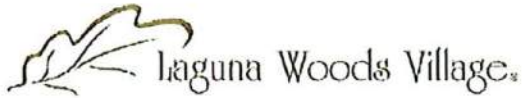
SIGNATURE _____
DATE _____

5191 DUNES
LAGUNA WOODS, CA 92637

A2



ATTACHMENT 2 APPLICATION



MANOR # 5191 Duenas

☐ ULWM

☐ TLHM

Variance Request Form

SA

Model: <u>Villa Serena</u>	Plan:	Date: <u>12-27-2022</u>
Member Name: <u>Vetit Piyas</u>	Signature <u>Vetit Piyas</u> <small>Vetit Piyas (407 25, 2322 12 29 FOT)</small>	
Phone: [REDACTED]	Email: [REDACTED]	
Contractor Name/Co: [REDACTED]	Phone: [REDACTED]	Email: [REDACTED]

Description of Proposed Variance Request ONLY:

Create a new laundry room with two separate entry doors and a new laundry sink in the garage area based on the City approved plan.

Extend out portion of Master bedroom & Diningroom into already covered back yard patio by demolishing and reframing the walls, roofing and ceiling in the area based on the City approved plan.

Dimensions of Proposed Variance Alterations ONLY:

Garage Laundry room: 12'-4" x 6'-8" +/-5'6" X 12'-4" TO ALLOW FOR REQUIRED PARKING 20'X20' CLEAR SPACE

Extended to Backyard Patio area: 6'-0" x 34'-0" ***ROOF TO EXTEND 6'-0" X FULL MANOR WIDTH FOR COVERED PATIO AREA

***PORTION OF GRANDFATHERED PLANTER TO REMAIN

FOR OFFICE USE ONLY

RECEIVED BY: _____ DATE RECEIVED: _____ Check# _____ BY: _____

Alteration Variance Request Check Items Received: <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____ _____	Complete Submittal Cut Off Date: Meetings Scheduled: Third AC&S Committee : _____ United AC&S Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____
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v.9.17

ATTACHMENT 3
PHOTOS



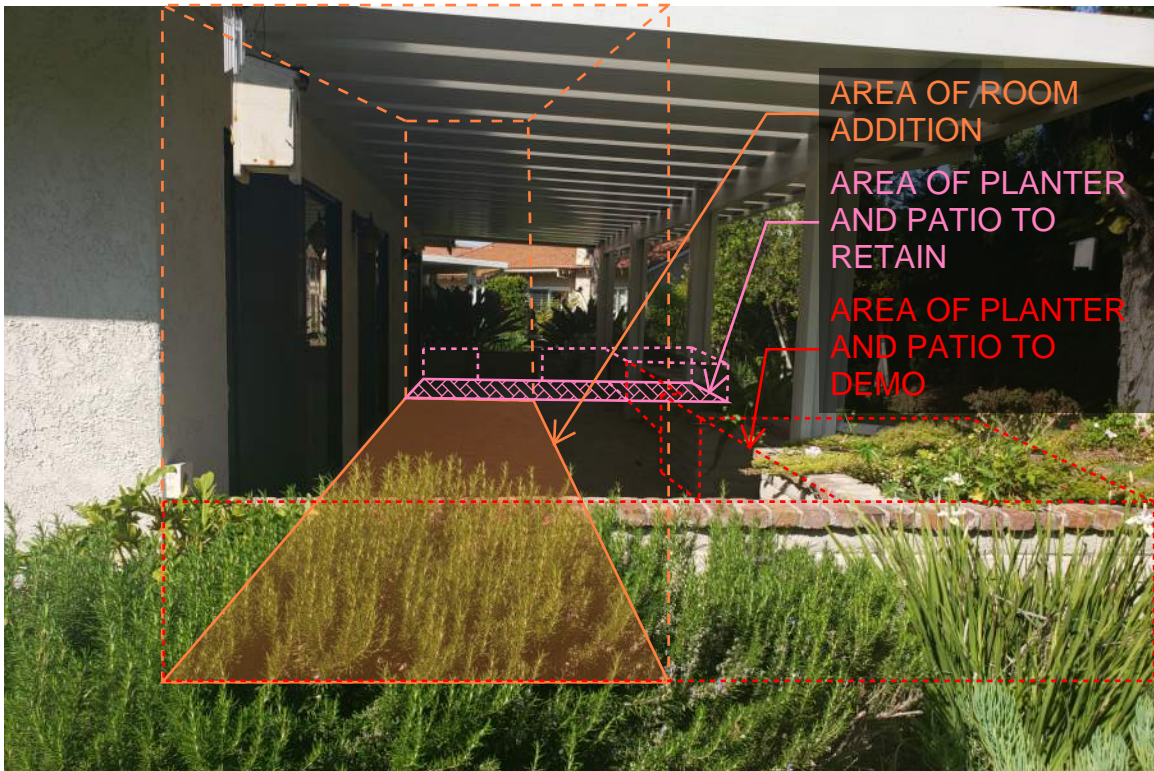
AREA OF PATIO TO DEMO



AREA OF PATIO TO REMAIN

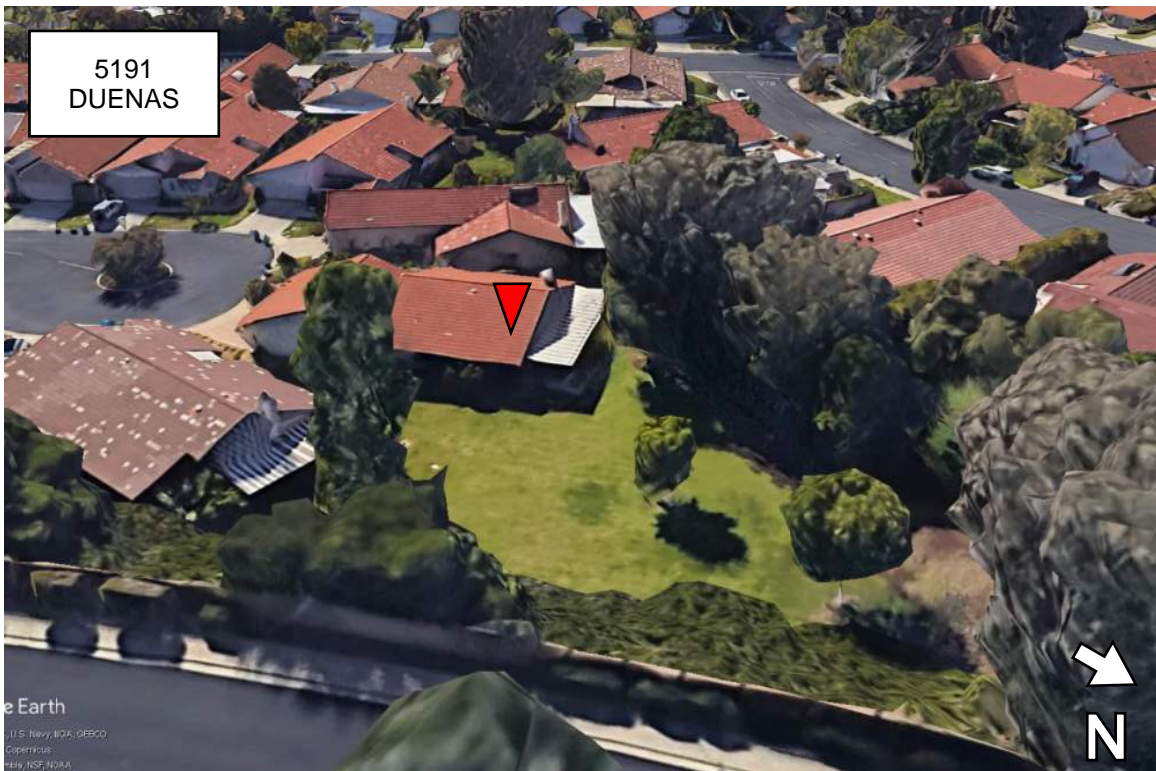
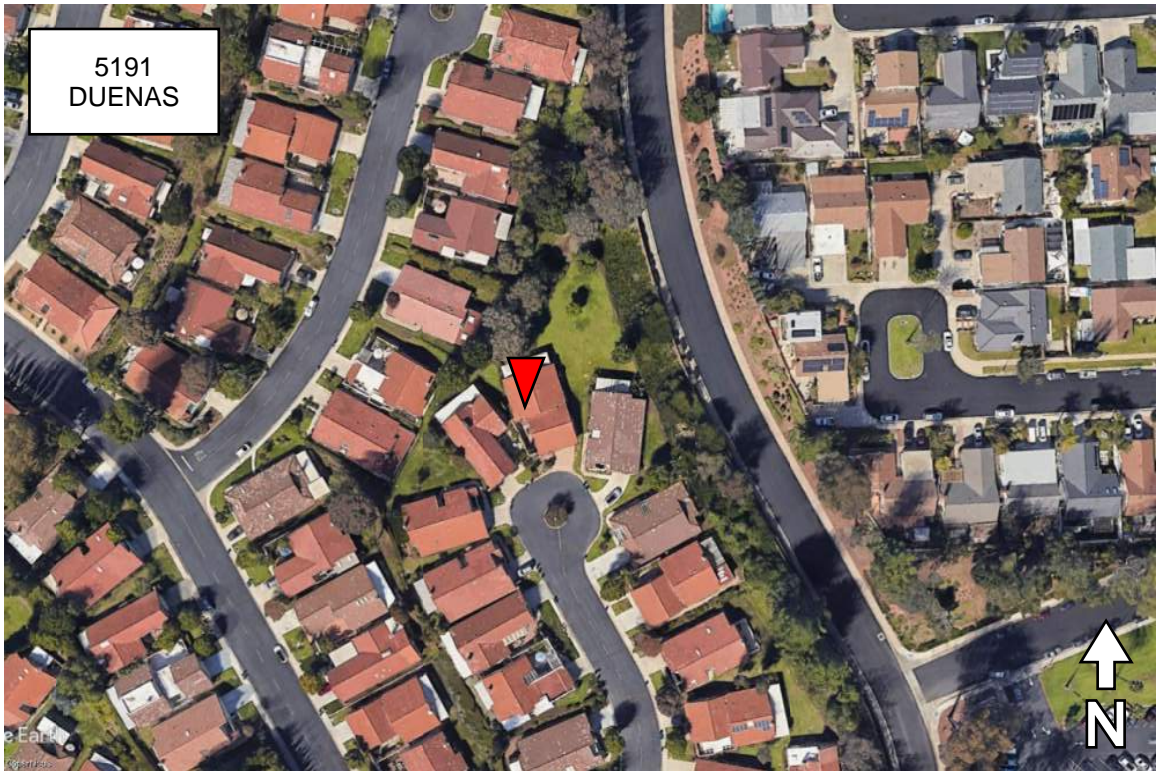


AREA OF EXISTING PATIO TO REMAIN



SIDE VIEW OF EXISTING COVERED PATIO

ATTACHMENT 4
AERIALS





STAFF REPORT

DATE: April 25, 2022
FOR: Third Architectural Control and Standards Committee
SUBJECT: Variance Request: Ms. Alma Yao of 5379-C Avenida Sosiega
(Cabrillo, Plan RP203A) Cathedral Ceiling

RECOMMENDATION

Staff recommends approval from the Architectural Control and Standards Committee for a variance for truss removal and replacement with engineered 2x framing for a cathedral ceiling with conditions stated in Appendix A.

BACKGROUND

Ms. Alma Yao of 5379-C Avenida Sosiega, a Cabrillo style manor, requests Architectural Control and Standards Committee approval of a variance for truss removal and replacement with 2x framing for a cathedral ceiling.

Due to there being no existing Standard plan for the proposed alterations, Staff seeks Board approval prior to issuing a Mutual Consent for the alterations.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

Ms. Alma Yao is proposing to remove roof trusses and replace them with 2x framing for a cathedral ceiling

The cathedral ceiling will result in the removal of the Common Area attic space. By removal of the attic, the volume of the common area air space will be incorporated into the manor, and the manor air space will be redefined by the new ceiling planes. The existing roof ridge height and roof planes shall remain as existing. The overall roof lines of the structure shall be similar. (Appendix B).

Structural drawings and calculations will be required for the truss removal.

Currently, there are no Mutual Consents open for the manor, other than those that relate to this variance application.

Staff recommends approval from the Architectural Controls and Standards Committee regarding the variance request for the following reasons. Ms. Alma Yao has submitted minimal architectural drawings for the proposed alteration for review. As indicated on the plans, additions are contained by the original construction volume limits as shown in

Appendix B. The remodel should not cause changes to existing drainage, landscaping, or similar issues related to common area maintenance. Additionally, the Board has approved previous cathedral ceiling alterations at manor 5422 in 2018 and 3456-B in 2019. The Board's previous direction is the basis for staff support.

Structural drawings will be submitted for review prior to issuance of the Mutual Consents for Demolition and Alteration. The structural tie-in of the new framing shall be addressed on the structural drawings.

A City of Laguna Woods building permit final inspection would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to Units 5379-A, 5379-B, and 5380-B on April 15, 2022 due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 5379-C.

Prepared By: Richard de la Fuente, Alterations Inspector II

Reviewed By: Gavin Fogg, Inspections Supervisor

Robbi Doncost, Manor Alterations Manager

Baltazar Mejia, P.E. Maintenance & Construction Deputy Director

ATTACHMENT(S)

Appendix A: Conditions of Approval

Appendix B: Record Documents

Attachment 1: Scope of Work

Attachment 2: Variance Application

Attachment 3: Photos

Attachment 4: Aerials

Attachment 5: Resolution 03-22-XX

EXHIBIT A CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL

Manor: 5379-C

Variance Description: Remove existing trusses and replace with 2x roof framing for a cathedral ceiling

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.2. The Member shall provide plans, specifications, and calculations from a duly licensed structural engineer to conform to the Building Code for all foundation, framing, and beam additions for the work of this variance.
- A.3. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. Existing roof tile shall be removed and retained in good condition for reinstallation after reframing is complete.
- B.2. New roof tiles shall match existing roof tiles.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural

modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

- C.2. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.
- C.3. Prior to the Issuance of a Mutual Consent for Alterations, the Member shall request a Maintenance and Construction Department inspection to assure that Mutual property is appropriately addressed during construction.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan check drawing set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are identified as "Third Laguna Hills Mutual Color Selections" at Resident Services, located at the Community Center first floor.

See next page for General Conditions.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 5379-C, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Department , and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5379-C and all future Mutual Members at 5379-C.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents

by any invitee, including any fine, assessment or other charge levied in connection therewith.

- G.6. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. The Member is responsible for the submission of a valid mutual consent no later than 2 weeks from the date of the Variance approval. The expiration date of the Variance will then match the expiration date of the issuance of the Manor Alterations Mutual Consent for the improvements. If a valid Mutual Consent application is not submitted within said 2 weeks, then this Variance shall expire 180 days following the date of the Board approval of the Variance.
- G.10. All construction must be completed within 180 days or 6 months from the later date of Board approval of the Variance and issuance of the Mutual Consent for start of demolition or construction work.
- G.11. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.12. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting

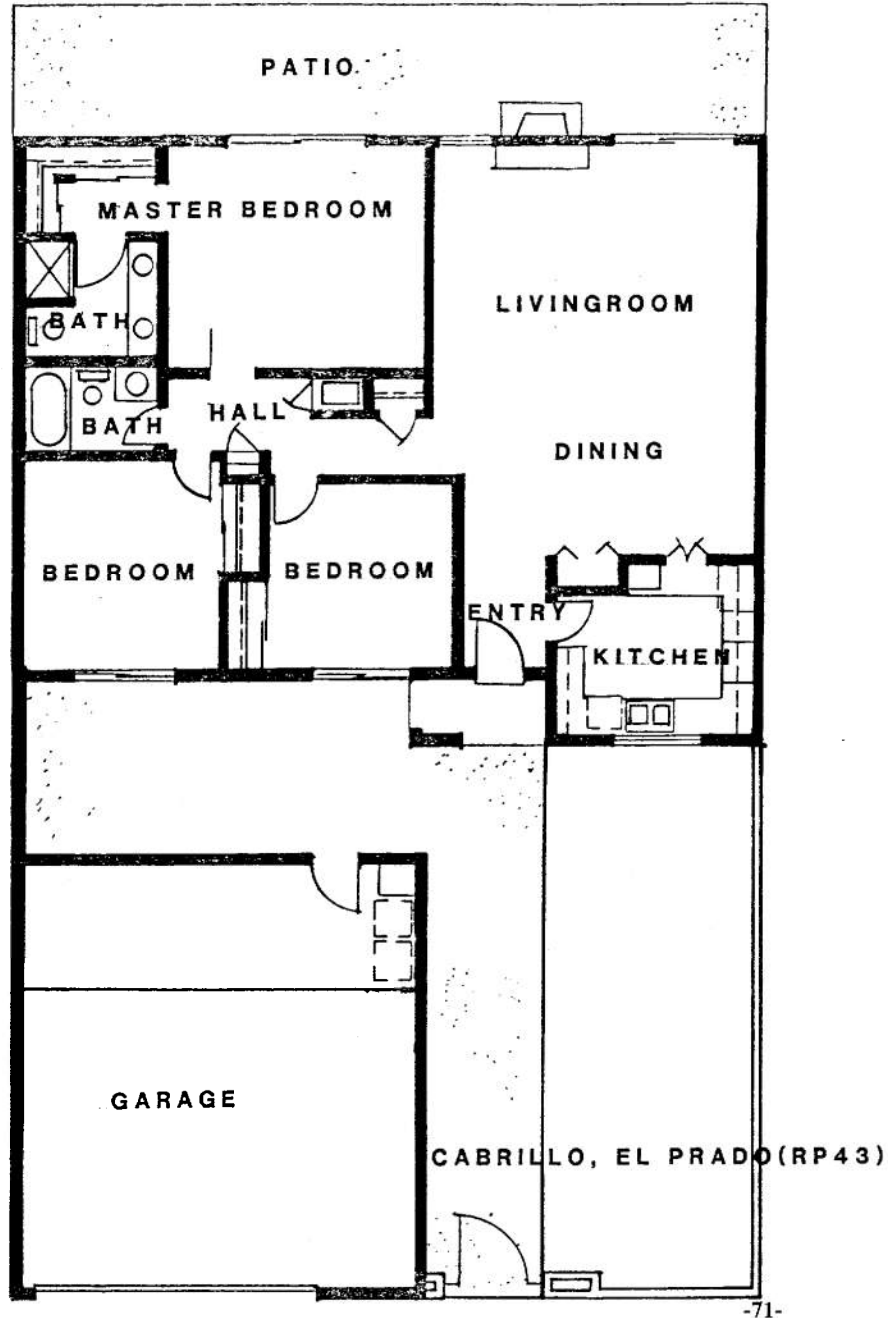
the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

- G.13. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.14. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.15. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.16. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.17. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.20. The Mutual Consent for Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.21. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could res

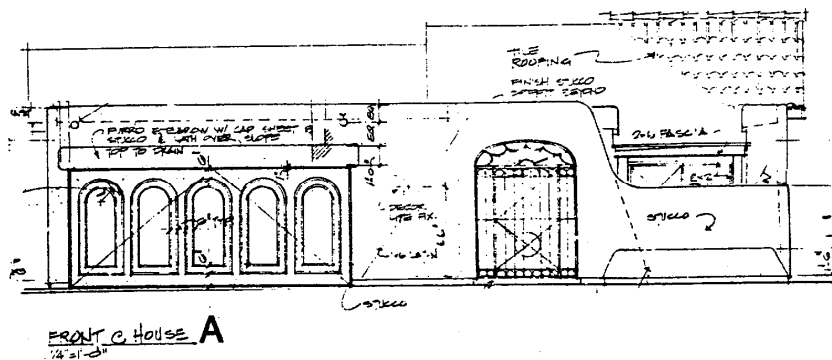
ult in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

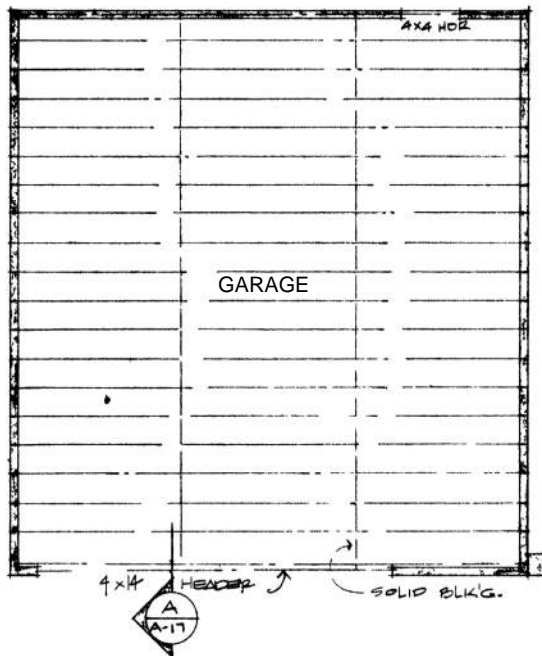
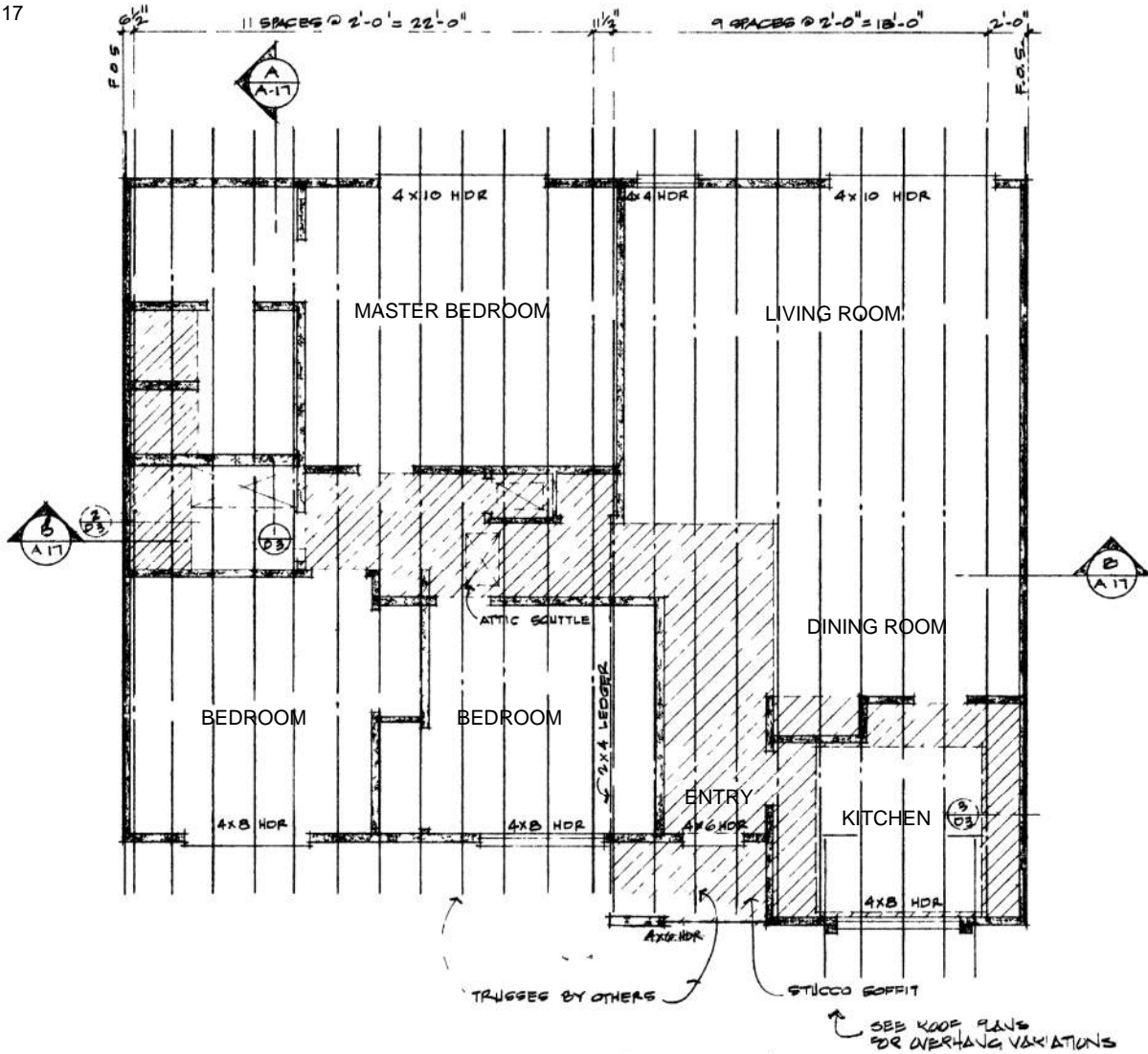
- G.22. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

APPENDIX B RECORD DOCUMENTS



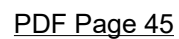
FLOORPLAN A



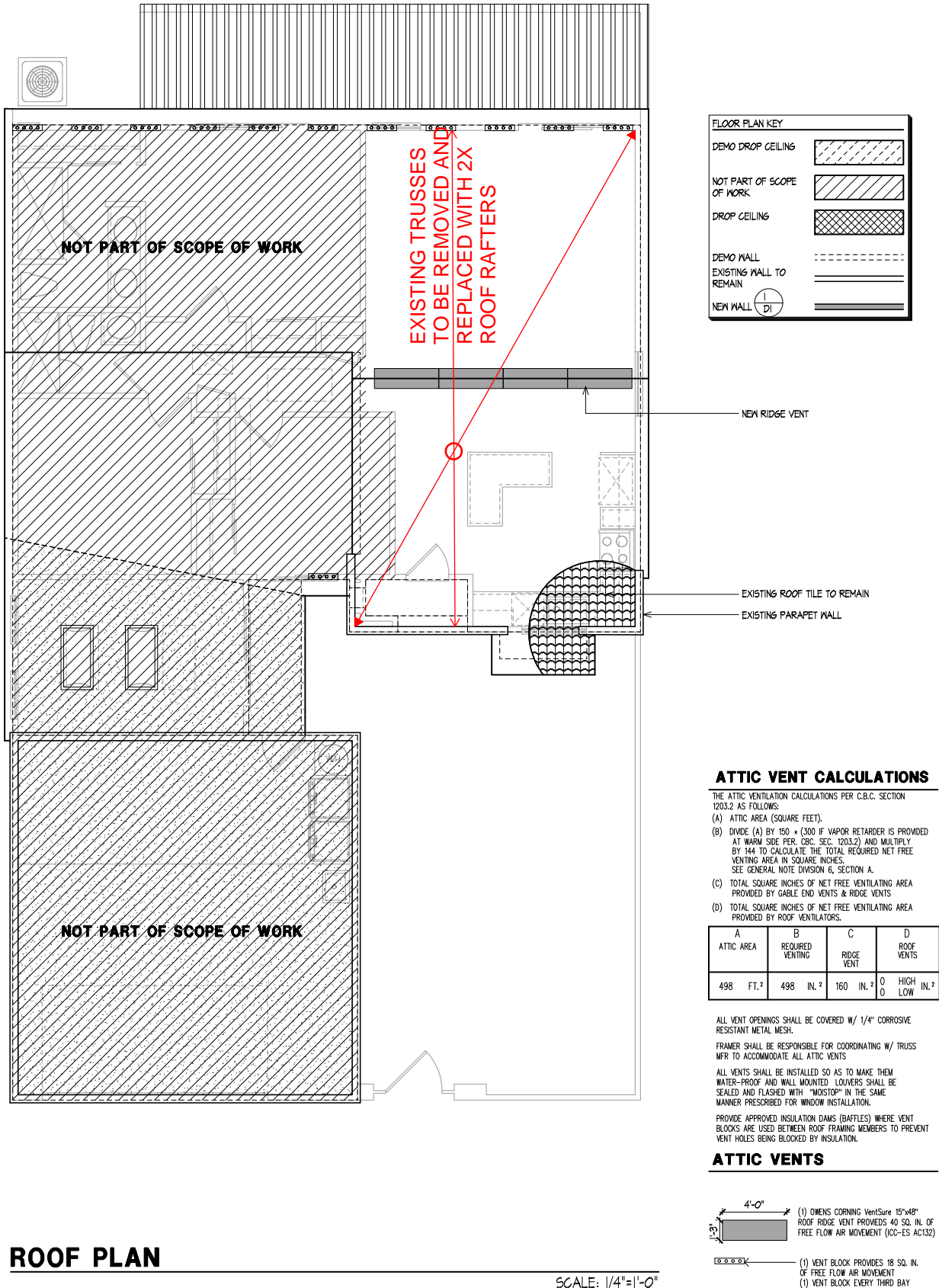


FRAMING PLAN ELEVATION 'A'
SCALE 1/4" = 1'-0"

OCT 1

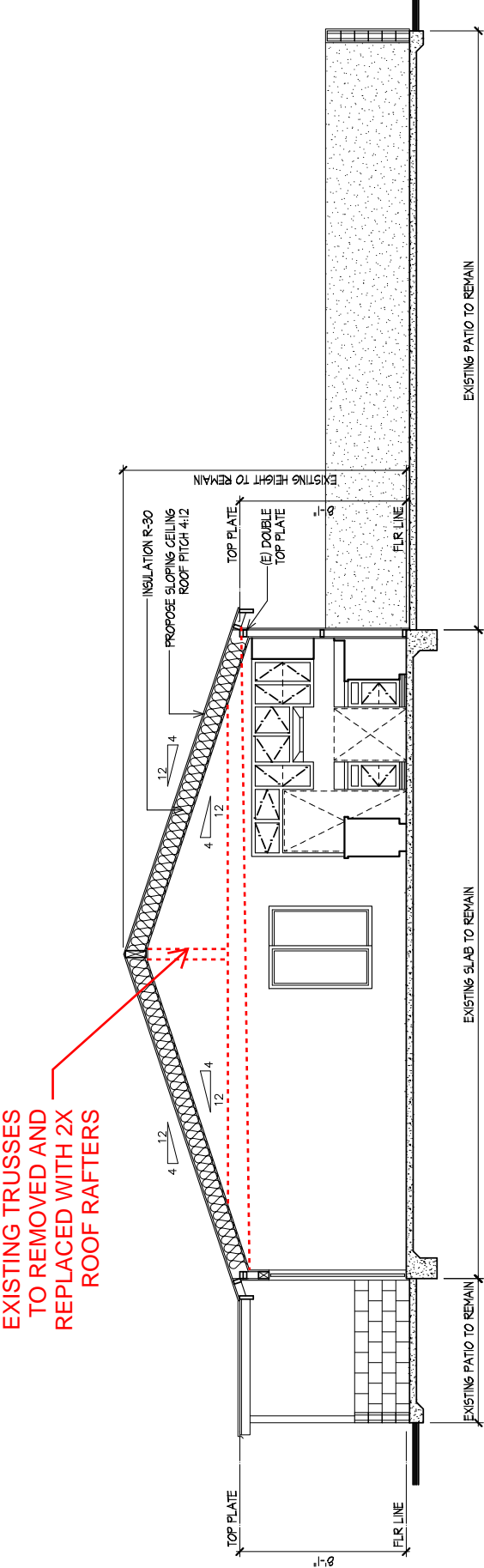


ATTACHMENT 1
SCOPE OF WORK



ROOF PLAN

SCALE: 1/4"=1'-0"



SECTION A

SCALE: 1/4"=1'-0"

CONDITIONS REQUIRED:

1. SUBMIT A BRACE FRAMING PLAN TO CITY.
2. ALL EXT. WALLS TO BE BRACED PRIOR TO REMOVAL OF ROOF STRUCTURAL ELEMENTS.
3. SEISMIC UPGRADES MAYBE REQUIRED BY CODE AND SHALL BE SUBMITTED TO CITY WITH PLAN CHECK CONSTRUCTION DOCUMENTS.
4. PROVIDE WATER PROTECTION TO BUILDING DURING REMOVAL AND REPLACEMENT OF ROOF STRUCTURE AND WATERPROOFING.
5. ALL EXISTING ROOF LINES OF RIDGES AND VALLEYS TO REMAIN THE SAME. PROVIDE METAL FLASHING AT VALLEYS AND RIDGE CAP AS EXISTING.
6. MATCH ROOFING MATERIAL AND MAINTANCE ROOF WARRANTY. PROVIDE WRITTEN MIN. 25 YEAR LABOR AND MATERIAL ROOF WARRANTY ON ALL NEW ROOF ADDITIONS OR MODIFICATIONS.
7. REPAIR AND PAINT ALL INTERIOR GYPSUM BOARD WALL SURFACES FOR A COMPLETE BUILDING SHELL.
8. NEW ROOFING MATERIAL MUST MATCH EXISTING ROOF. IT MAY BE NECESSARY TO REPLACE THE EXISTING ROOF TO MATCH AND MAINTAIN ROOF WARRANTY.
9. MEMBER IS RESPONSIBLE FOR ANY SUPPLEMENTS OR STRENGTHENING OF EXISTING STRUCTURE TO ACCOMMODATE THE NEW ROOF FRAMING.

ATTACHMENT 2 APPLICATION



MANOR # 5379-C

☐ ULWM

☒ TLHM

Variance Request Form

SA

Model: <u>Cabrillo</u>	Plan:	Date: <u>2/13/22</u>
Member Name: <u>Alma Yao</u>	Signature: <u>[Signature]</u>	
Phone: <u>[Redacted]</u>	Email: <u>[Redacted]</u>	
Contractor Name/Co: <u>[Redacted]</u>	Phone: <u>[Redacted]</u>	Email: <u>[Redacted]</u>

Description of Proposed Variance Request ONLY:

Replace existing trusses in the living room and kitchen with roof rafters. The exterior will remain the same and the interior ceiling height will go from 8' to maximum height of 13'6"

Dimensions of Proposed Variance Alterations ONLY:

The combined area of the living room and kitchen is approximately 35' x 19'

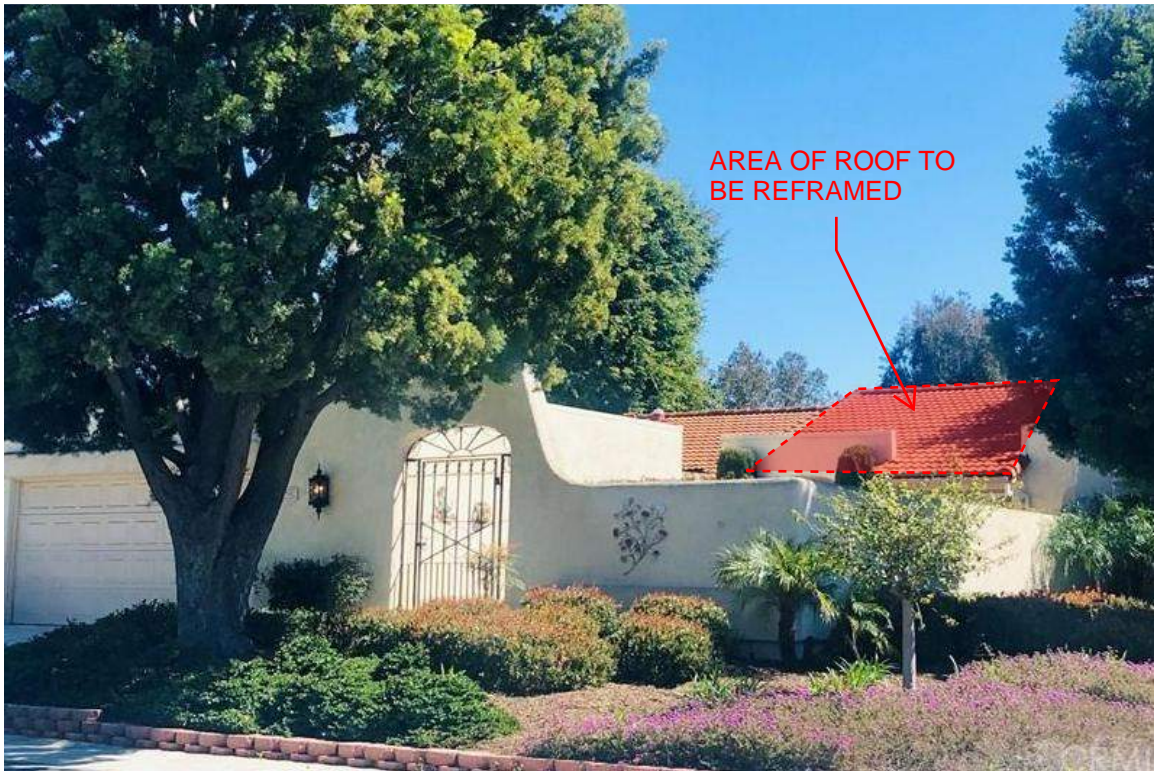
FOR OFFICE USE ONLY

RECEIVED BY: _____ DATE RECEIVED: _____ Check# _____ BY: _____

<p>Alteration Variance Request</p> <p>Check Items Received:</p> <p><input type="checkbox"/> Drawing of Existing Floor Plan</p> <p><input type="checkbox"/> Drawing of Proposed Variance</p> <p><input type="checkbox"/> Dimensions of Proposed Variance</p> <p><input type="checkbox"/> Before and After Pictures</p> <p><input type="checkbox"/> Other: _____</p>	<p>Complete Submittal Cut Off Date:</p> <p>Meetings Scheduled:</p> <p>Third AC&S Committee: _____</p> <p>United AC&S Committee: _____</p> <p>Board Meeting: _____</p> <p><input type="checkbox"/> Denied <input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Tabled <input type="checkbox"/> Other _____</p>
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v.9.17

ATTACHMENT 3 PHOTOS

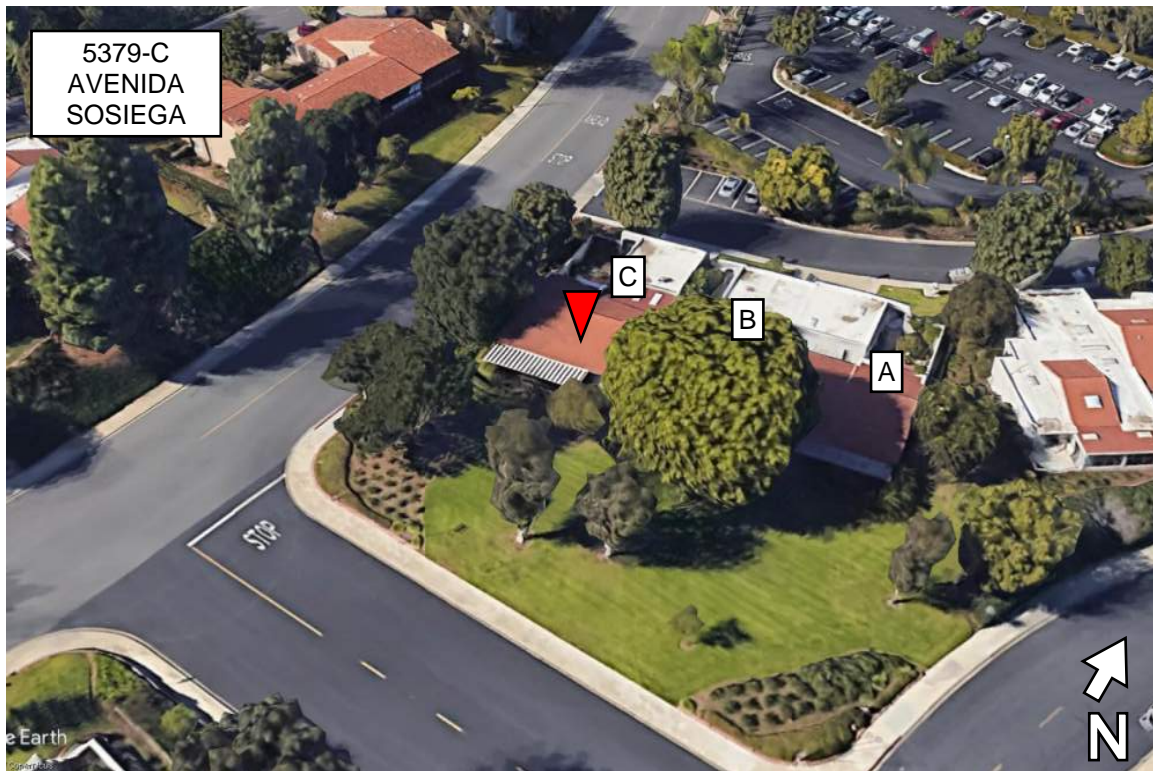
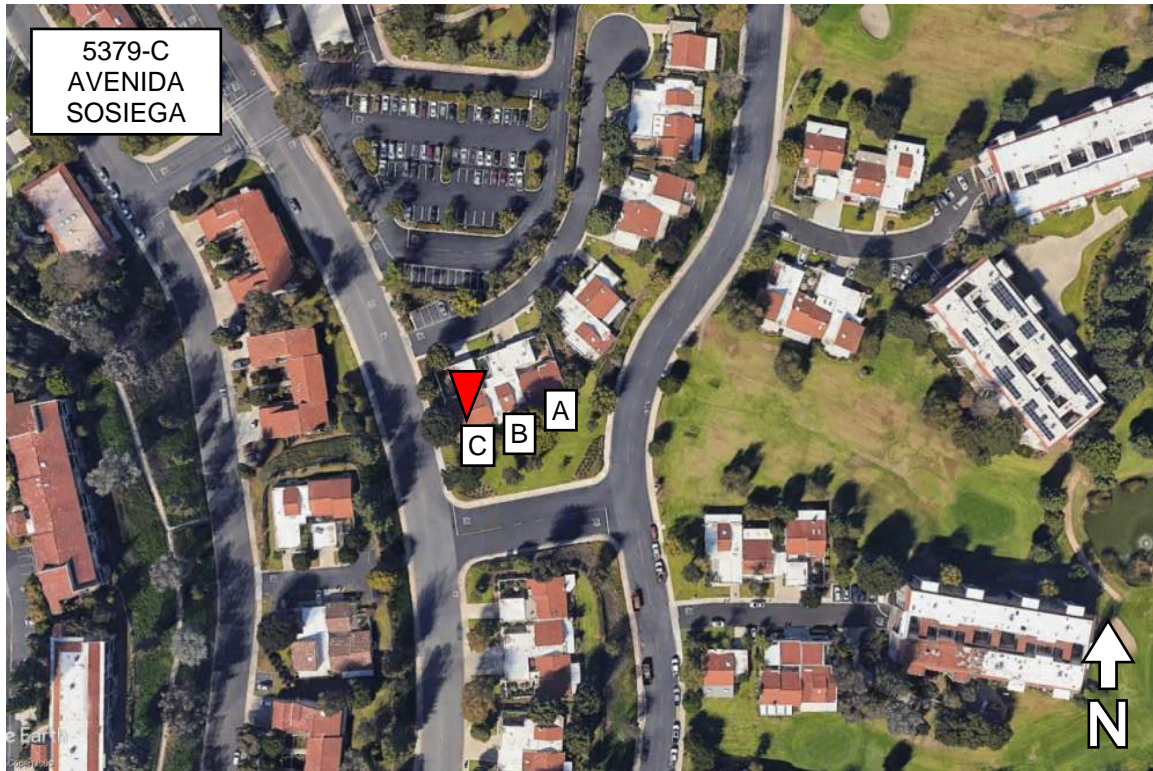


FRONT ELEVATION



REAR ELEVATION

ATTACHMENT 4 AERIALS



**ATTACHMENT 5
RESOLUTION 03-22-XX**

RESOLUTION 03-22-XX

Variance Request

WHEREAS, Ms. Alma Yao of 5379-C Avenida Sosiega, a Cabrillo style manor, requests Architectural Controls and Standards Committee approval of a variance for truss removal and replacement with 2x framing for a cathedral ceiling, and,

WHEREAS, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on April 25, 2022, and,

WHEREAS, the Third Architectural Controls and Standards Committee reviewed the variance and moved a recommendation for approval, and,

NOW THEREFORE BE IT RESOLVED, on April 25, 2022, the Architectural Controls and Standards Committee hereby approves the request for truss removal and replacement with 2x framing for a cathedral ceiling;

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5379-C Avenida Sosiega and all future Mutual Members at 5379-C Avenida Sosiega;

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.